



# THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

WAYNE K. CURRY COUNTY ADMINISTRATION BUILDING, LARGO, MARYLAND 20774  
TELEPHONE (301) 952-3220

## *NOTICE OF FINAL DECISION*

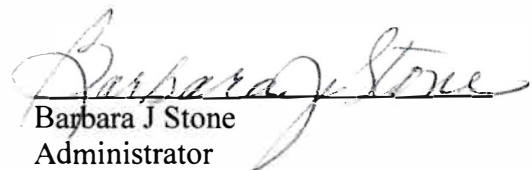
### *OF BOARD OF APPEALS*

RE: Case No. V-14-22 Diane Watson

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: April 6, 2022

## **CERTIFICATE OF SERVICE**

This is to certify that on July 7, 2022, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.

  
Barbara J Stone  
Administrator

cc: Petitioner  
Adjoining Property Owners  
M-NCPPC, Permit Review Section  
DPIE/Building Code Official, Permitting

**BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND**  
***Sitting as the Board of Zoning Appeals***

Petitioner: Diane Watson

Appeal No.: V-14-22

Subject Property: Lot 1, Conte Point Subdivision, being 10301 Brandywine Road, Clinton, Prince George's County, Maryland

Heard and Decided: April 6, 2022

Board Members Present and Voting: Bobbie S. Mack, Chairperson  
Albert C. Scott, Vice Chairman  
Anastasia T. Johnson, Member

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting a variance from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioner requests that the Board approve a variances from Section 27-442(e)(Table IV) prescribes that each lot shall have a rear yard at least 20 feet in depth/width. Section 27-442(c)(Table II) prescribes that not more than 30% of the net lot area shall be covered by buildings and off-street parking. Petitioner proposes to obtain a building permit for the construction of a screened sunroom. Variances of 11 feet rear yard depth/width and 7.9% net lot coverage<sup>1</sup> is requested.

Evidence Presented

The following testimony and record evidence were considered by the Board:

1. The property was subdivided in 2011, contains 12,853 square feet, is zoned R-80 (One-Family Detached Residential) and is improved with a single-family dwelling and extended driveway. Exhibits (Exhs.) 2, 4, 7, 8 and 9 (A) thru (F).
2. The subject lot is narrow in the front of the lot (54 feet) and much wider in the rear of the lot (80 feet). The property consists of seven angles and is irregularly shaped compared to Lot 2. The dwelling seemed to be angled to be parallel to the angled right-side line. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).
3. Petitioner proposes to obtain a building permit for the construction of a screened sunroom (with a 1- 6' x 4' landing) on the property, but a variance of 11 feet rear yard depth/width is required. The existing home is setback to the far rear of the lot and angled to the rear property line, leaving minimal area for the proposed sunroom. With the addition of the screened sunroom a variance for net lot coverage is required, which has been recalculated to be lower than originally advertise calculation of 7.9%, the correct requirement for net lot coverage is .4%. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).
4. Petitioner Diane Watson testified that her house is only 9 feet from the rear property line and there is insufficient rear yard space for family gathering and outdoor enjoyment now that she is retired.
5. She further testified that between her property and the adjoining property (P. 147) on the left property line (facing the home from the street), is a vacant lot which is heavily wooded. She surmised that the sunroom will actually be hidden from the street. Exhs. 2, 3 (a) thru (l) and 5 (A) thru (B).

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<sup>1</sup> It was determined after the hearing, that the subject lot's net lot coverage was incorrectly calculated. The actual percentage of lot coverage is 30.04%. The lot coverage is only over by 4%, which is de minimis. The calculations shown on the site plan are incorrect. Therefore, the required net lot coverage variance is .4%.

### Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.


### Findings of the Board

After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variances comply with the applicable standards set forth in Section 27-230, more specifically:

Due to the dwelling being located in the far rear wider yard area on the lot, the dwelling seemed to be angled to be parallel to the angled right side lot line, the sunroom's development will increase the net lot coverage minimally, the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owner of the property.

BE IT THEREFORE RESOLVED, unanimously, that variances of 11 feet rear yard depth/width and .4% net lot coverage in order to obtain a building permit for the construction of a screened sunroom on the property located at 10301 Brandywine Road, Clinton, Prince George's County, Maryland, be and is hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved site plan, Exhibit 2 and approved elevation plans, Exhibits 3 (a) thru (f).

BOARD OF ZONING APPEALS

By:   
Bobbie S. Mack, Chairperson

### NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

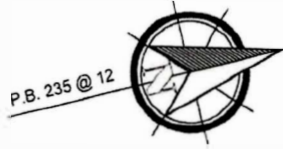
Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

THIS DOCUMENT IS CERTIFIED TO:

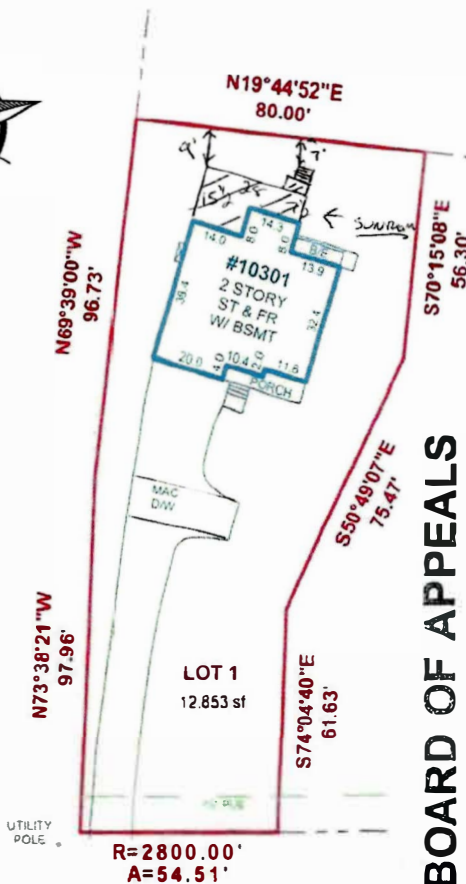


CASE #: \*\*\*\*\*



Drive way = 1842  
House = 2560  
Sunroom = 324.25  
Landing = 24  
Steps = 16  
  
Total = 4766.25

37%  
Lot coverage



7 1/2 x 28 x 15 1/2  
Sunroom  
1- 6'x4' landing  
and 4-4'  
wide steps

BOARD OF APPEALS

APPROVED APR 06 2022

ADMINISTRATOR

BRANDYWINE ROAD

LOCATION DRAWING OF:

#10301 BRANDYWINE ROAD

LOT 1

CONTE POINT

PLAT BOOK 235, PLAT 12

PRINCE GEORGE'S COUNTY, MARYLAND

SCALE: 1"=40' DATE: 11-10-2021

DRAWN BY: SM FILE #: 2113478-286

LEGEND

- FENCE
- BASEMENT ENTRANCE
- BAY WINDOW
- STONE
- BLDG RESTRICTION LINE
- BASEMENT
- CONCRETE STOOP
- CONCRETE
- DRIVEWAY
- EXISTING
- FRAME
- HATCH
- GATE
- OVERHANG
- PUBLIC UTILITY SSMT
- PUBLIC IMPROVEMENT ESMT

COLOR KEY

- RED - RECORD INFORMATION
- BLUE - IMPROVEMENTS
- GREEN - ESTATE RESTRICTIONS

A Land Surveying Company



**DULEY**  
and  
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111

Fax: 301-888-1114

Email: orders@duley.biz

On the web: www.duley.biz



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09 13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDINGS OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN IF IT APPEARS ENCROACHMENTS MAY EXIST. A BOUNDARY SURVEY IS RECOMMENDED.

DULEY & ASSOC.

WILL GIVE YOU A 100% FULL CREDIT TOWARDS UPGRADING THIS SURVEY TO A "BOUNDARY/STAKE" SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)

EXH. # 2  
V-14-22

Look Good

MEDALLION SECURITY DOOR AND WINDOW CO.  
2849 KAVERTON RD  
FORESTVILLE MD 20747  
301-420-1800

MINIMUM N DESIGN LOADS: (PER 2018 IRC)

NOTE: COMPONENTS HAVE BEEN CHECKED  
AGAINST DESIGN LOADS SHOWN & FOUND TO  
BE ACCEPTABLE STRUCTURALLY

MINIMUM N DESIGN LOADS:

DEAD LOADS:

1. ROOF: 2 PSF
2. WALLS: 5 PSF
3. FLOOR: 10 PSF

LIVE LOADS:

1. ROOF: 30 PSF
2. WALLS: 115 MPH - 3 SEC. WIND GUST
3. FLOOR: 40 PSF

DEFLECTION LIMITS:

1. ROOF: L/180
2. WALLS: L/175
3. FLOOR: L/240

NOTE: THIS ENCLOSURE IS NOT TO BE  
CONDITIONED OR USED AS A PERMANENT LIVING  
AREA. ROOM CONSIDERED AS NON-CONTENDED  
SPACE. EXEMPT FROM ENERGY REQUIREMENTS  
(PER 2015 IRC SECTION N1101.1)

NOTE:

- ALL CONCRETE TO BE 3000 PSI MINIMUM
- ALL LUMBER TO BE SPF #2 OR BETTER,  
PRESSURE TREATED WHERE REQUIRED
- WHERE REQUIRED, METALS IN CONTACT WITH  
PRESSURE TREATED LUMBER MUST BE  
ADEQUATELY PROTECTED.
- ALL GLASS TEMPERED SAFETY PER ANSI Z97.1  
STANDARDS
- ALLOWABLE SOIL PRESSURE CONSIDERED  
PRESUMPTIVE 1500 PSF

DRAWING #	DESCRIPTION
1	COVER 1
2	INSTALLERS LAYOUT
3	ELEVATION FRONT
4	FLOOR PLAN - CONTINUOUS LOAD PATH
5	CROSS SECTION - CONTINUOUS LOAD PATH
6	DECK LAYOUT GIRDERS & FOOTINGS
7	LEDGER AND BEAM FASTENER SCHEDULES
8	SYSTEM DETAILS ROOF
9	SYSTEM DETAILS WALLS
10	SYSTEM WALL CROSS SECTION
11	SOIL BEARING & WIND UPLIFT
12	SNOW LOAD CALCULATIONS

PROJECT FOR:

WATSON  
10301 BRANDYWINE RD.  
CLINTON MD 20735

SUNROOM  
SPECIFICATIONS

ROOM STYLE: STUDIO  
ROOM DIMENSIONS: 28'-0" x 7'-6" TO 15'-6"  
COLOR: SANDSTONE  
HIGH PERFORMANCE MULTI COAT GLASS  
SLIDING WINDOWS TEMP SAFETY TEMPERED

3(a)

SHEET 1

MEDALLION SECURITY  
2849 KAVERTON RD  
FORESTVILLE MD 20747

WATSON  
10301 BRANDYWINE RD.  
CLINTON MD 20735

JAMES A. CLANCY

MD LIC # J0555  
NJ LIC # 24994

Professional Engineer

REC-885-7981  
RES-853-7386

Fax  
Phone

JAMES A. CLANCY

CONSULTING ENGINEER  
401 BASSURF AVENUE  
NATIONAL PARK, NJ 08063

BOARD OF APPEALS

APPROVED APR 06 2022

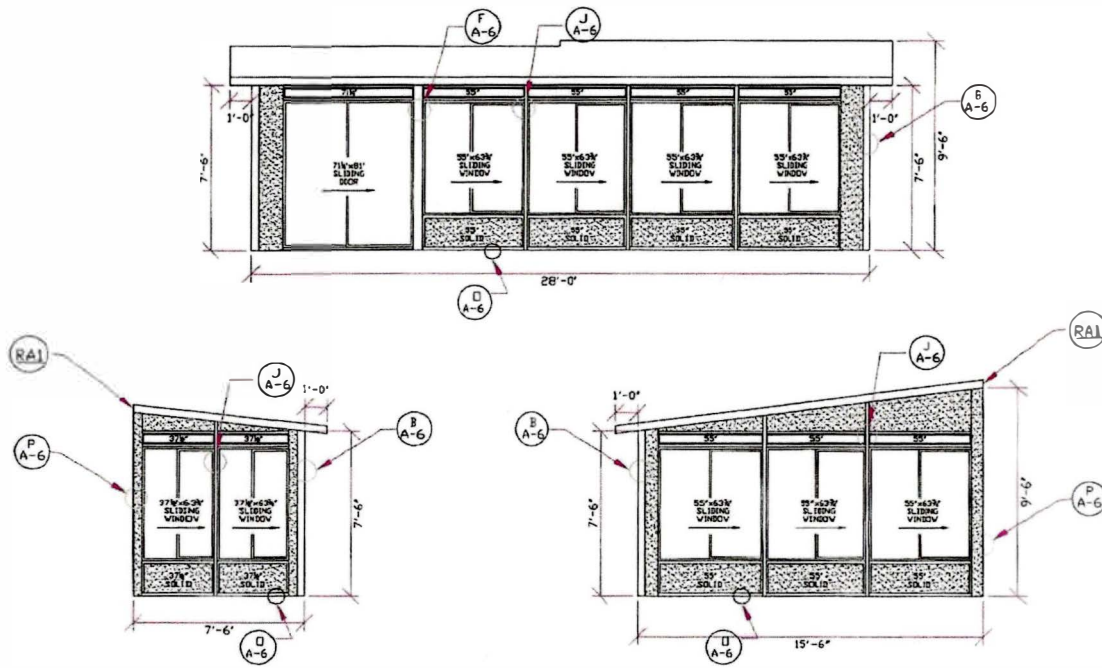
  
ADMINISTRATOR

## STD



**ADMINISTRATOR**

# ELEVATIONS



3(c)

SHEET 3

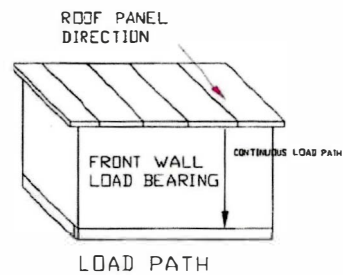
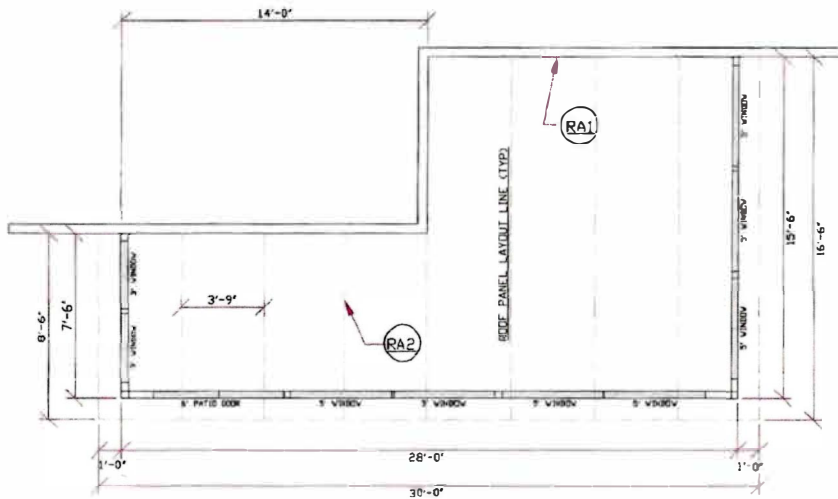
<p>WATSON 10301 BRANDYWINE RD. CLINTON MD 20735</p>	<p>MEDALLION SECURITY 2849 KAVERTON RD FORESTVILLE MD 20747</p>
<p>JAMES A. CLANCY CONSULTING ENGINEER NATIONAL PARK, NJ 08063</p>	<p>JAMES A. CLANCY Professional Engineer MD LIC# 31585 VA LIC# 844246</p>

## BOARD OF APPEALS

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ADMINISTRATOR

# FLOOR PLAN



3(d)

SHEET 4

WATSON 10301 BRANDYWINE RD. CLINTON MD 20735		MEDALLION SECURITY 2849 KAVERTON RD FORESTVILLE MD 20747
JAMES A. CLANCY CONSULTING ENGINEER 601 ASBURY AVENUE NATIONAL PARK, NJ 08063 Fax: 856-853-7391 Phone: 856-853-7396	JAMES A. CLANCY Professional Engineer	JAMES A. CLANCY Professional Engineer NO LIC# ISSUED VA LIC# 862355

BOARD OF APPEALS

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APR 06 2022

ADMINISTRATOR

**3(e)**

SHEET 5

MEDALLION SECURITY  
2849 KAVERTON RD  
FORESTVILLE MD 20747

JAMES A. CLANCY

Profesional Engineer

MO LIC# 31585  
VA LIC# 042456

WATSON  
10301 BRANDYWINE RD.  
CLINTON MD 20735

JAMES A. CLANCY

CONSULTING ENGINEER  
601 ASBURY AVENUE  
NATIONAL PARK, NJ 08063

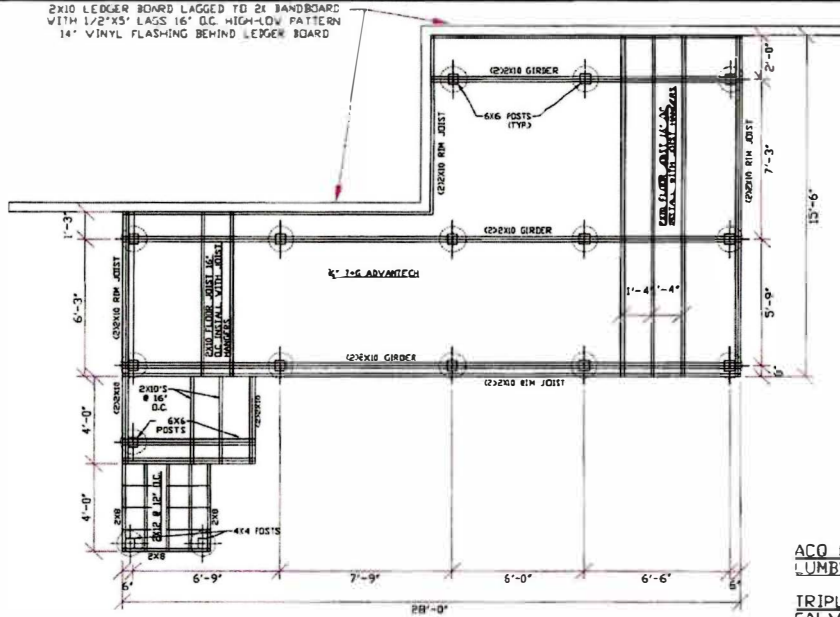
Fax: 856-853-7381  
Phone: 856-853-7306

**APPROVED** APR 06 2022

By Stone  
ADMINISTRATOR

# DECK DETAIL

2X10 LEDGER BOARD LAGGED TO 2X HANDBOARD  
WITH 1/2"X3" LAGS 16" O.C. HIGH-LOW PATTERN  
14" VINYL FLASHING BEHIND LEDGER BOARD



ACQ PRESSURE TREATED LUMBER

TRIPLE DIPPED GALVANIZED FASTENERS INTO ACQ LUMBER

FOOTINGS LOCATION 6"X6" POST

GIRDER:	ALLOWABLE SPAN BETWEEN COLUMNS				FLOOR JOIST:	SPACING	MAX. Q. FAR SPAN
	6'	8'	10'	12'			
Size	2" X 6"	2" X 6"	2" X 6"	2" X 6"	2" X 6"	12" ON CENTER	9'-11"
2" X 6"	6'0"	5'8"	5'1"	4'7"	2" X 6"	16" ON CENTER	9'-0"
2" X 6"	7'11"	7'2"	6'5"	5'10"	2" X 8"	12" ON CENTER	13'-1"
2" X 8"	8'6"	7'4"	6'6"	5'11"	2" X 8"	16" ON CENTER	11'-10"
2" X 10"	10'1"	8'9"	7'9"	7'1"	2" X 10"	12" ON CENTER	16'-2"
2" X 8"	10'7"	9'3"	8'3"	7'6"	2" X 10"	16" ON CENTER	14'-0"
2" X 10"	12'9"	11'0"	9'9"	8'9"	2" X 12"	12" ON CENTER	18'-0"
2" X 12"	13'11"	12'4"	11'2"	10'4"	2" X 12"	16" ON CENTER	16'-6"
3" X 12"	15'0"	13'0"	11'7"	10'6"			

Spans are based on 40 psf live load, 10psf dead load, No. 2 stress grade and wet conditions. Deflections of L/360. Source American Wood Council Prescriptive Residential Wood Deck Construction Guide (2015) Table 3-1 and 2012 IRC (1007.3)

Spans are based on 40 psf live load, 10psf dead load, No. 2 stress grade and wet conditions. Deflections of L/360. Source American Wood Council Prescriptive Residential Wood Deck Construction Guide (2015) Table 3-1 and 2012 IRC (1007.3)

HOUSE WALL

DEFLECTION

NOTES:

INSTALL ON KNEEWALL TO GROUND - AROUND STEPS AND LANDING

VINYL FLOORING

BROWNSTONE DECKING AND TRIMBOARD

BEIGE RAILING

4"X6" LANDING

NOTES:

ALL EXTERIOR STRUCTURAL LUMBER TO BE PRESSURE TREATED

TO K. PRESSURE TREATED - ALL FASTENERS IN TREATED LUMBER SHALL BE

STAINLESS STEEL OR GALVANIZED AND CONFORM TO ASTM A153

3(f)

SHEET 6

MEDALLION SECURITY  
2849 KAVERTON RD  
FORESTVILLE MD 20747

WATSON  
10301 BRANDYWINE RD.  
CLINTON MD 20735

JAMES A. CLANCEY

Professional Engineer

888-888-7301  
888-888-7306

Fax

Phone

JAMES A. CLANCEY

CONSULTING ENGINEER  
101 E. CENTURY AVE.  
NATIONAL PARK, NJ 08063

MD LIC. 21805  
VA LIC. 042456

BOARD OF APPEALS

APPROVED

APR 06 2022

*By Stone*  
ADMINISTRATOR