



# THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

WAYNE K. CURRY COUNTY ADMINISTRATION BUILDING, LARGO, MARYLAND 20774  
TELEPHONE (301) 952-3220

## *NOTICE OF FINAL DECISION*

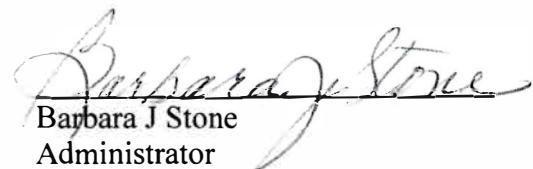
## *OF BOARD OF APPEALS*

RE: Case No. V-14-22 Diane Watson

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: April 6, 2022

## **CERTIFICATE OF SERVICE**

This is to certify that on July 7, 2022, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.

A handwritten signature in black ink, appearing to read "Barbara J. Stone".

Barbara J. Stone  
Administrator

cc: Petitioner  
Adjoining Property Owners  
M-NCPPC, Permit Review Section  
DPIE/Building Code Official, Permitting

**BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND**  
*Sitting as the Board of Zoning Appeals*

Petitioner: Diane Watson

Appeal No.: V-14-22

Subject Property: Lot 1, Conte Point Subdivision, being 10301 Brandywine Road, Clinton, Prince George's County, Maryland

Heard and Decided: April 6, 2022

Board Members Present and Voting: Bobbie S. Mack, Chairperson  
Albert C. Scott, Vice Chairman  
Anastasia T. Johnson, Member

**RESOLUTION**

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting a variance from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioner requests that the Board approve a variances from Section 27-442(e)(Table IV) prescribes that each lot shall have a rear yard at least 20 feet in depth/width. Section 27-442(c)(Table II) prescribes that not more than 30% of the net lot area shall be covered by buildings and off-street parking. Petitioner proposes to obtain a building permit for the construction of a screened sunroom. Variances of 11 feet rear yard depth/width and 7.9% net lot coverage<sup>1</sup> is requested.

**Evidence Presented**

The following testimony and record evidence were considered by the Board:

1. The property was subdivided in 2011, contains 12,853 square feet, is zoned R-80 (One-Family Detached Residential) and is improved with a single-family dwelling and extended driveway. Exhibits (Exhs.) 2, 4, 7, 8 and 9 (A) thru (F).
2. The subject lot is narrow in the front of the lot (54 feet) and much wider in the rear of the lot (80 feet). The property consists of seven angles and is irregularly shaped compared to Lot 2. The dwelling seemed to be angled to be parallel to the angled right-side line. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).
3. Petitioner proposes to obtain a building permit for the construction of a screened sunroom (with a 1- 6' x 4' landing) on the property, but a variance of 11 feet rear yard depth/width is required. The existing home is setback to the far rear of the lot and angled to the rear property line, leaving minimal area for the proposed sunroom. With the addition of the screened sunroom a variance for net lot coverage is required, which has been recalculated to be lower than originally advertise calculation of 7.9%, the correct requirement for net lot coverage is .4%. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).
4. Petitioner Diane Watson testified that her house is only 9 feet from the rear property line and there is insufficient rear yard space for family gathering and outdoor enjoyment now that she is retired.
5. She further testified that between her property and the adjoining property (P. 147) on the left property line (facing the home from the street), is a vacant lot which is heavily wooded. She surmised that the sunroom will actually be hidden from the street. Exhs. 2, 3 (a) thru (1) and 5 (A) thru (B).

<sup>1</sup> It was determined after the hearing, that the subject lot's net lot coverage was incorrectly calculated. The actual percentage of lot coverage is 30.04%. The lot coverage is only over by 4%, which is de minimis. The calculations shown on the site plan are incorrect. Therefore, the required net lot coverage variance is .4%

### Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

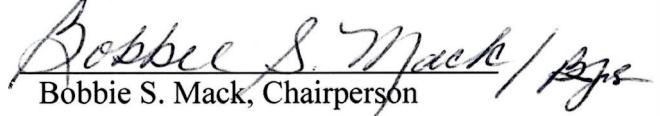
### Findings of the Board

After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variances comply with the applicable standards set forth in Section 27-230, more specifically:

Due to the dwelling being located in the far rear wider yard area on the lot, the dwelling seemed to be angled to be parallel to the angled right side lot line, the sunroom's development will increase the net lot coverage minimally, the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owner of the property.

BE IT THEREFORE RESOLVED, unanimously, that variances of 11 feet rear yard depth/width and .4% net lot coverage in order to obtain a building permit for the construction of a screened sunroom on the property located at 10301 Brandywine Road, Clinton, Prince George's County, Maryland, be and is hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved site plan, Exhibit 2 and approved elevation plans, Exhibits 3 (a) thru (f).

### BOARD OF ZONING APPEALS

By:   
Bobbie S. Mack, Chairperson

### NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

THIS DOCUMENT IS CERTIFIED TO:

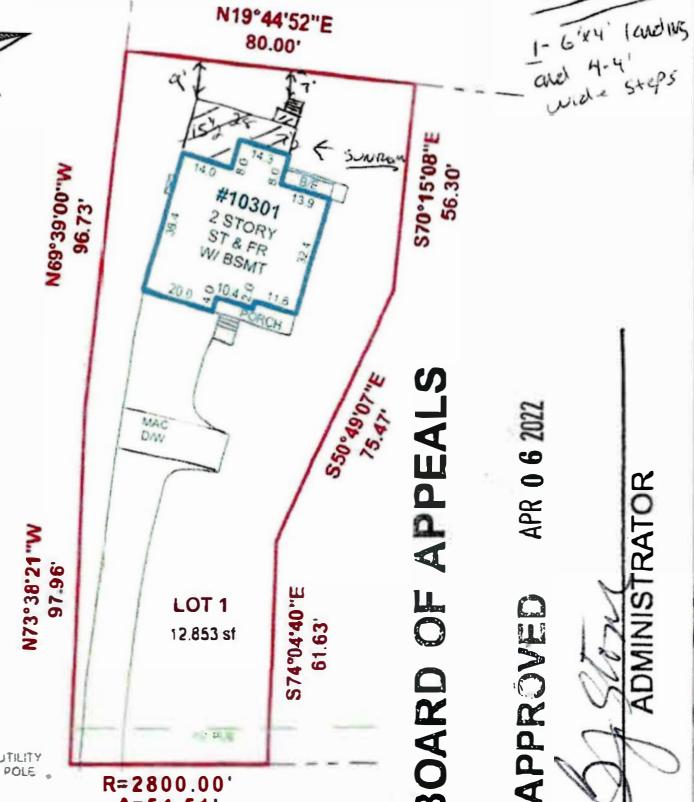


CASE #: \*\*\*\*



Drive away = 184.2  
House = 256.0  
SUNROOM = 324.25  
Landing = 24  
Steps = 16  
Total = 4766.25

37.90  
Lot coverage



## BRANDYWINE ROAD

## BOARD OF APPEALS

APPROVED APR 06 2022

*By [Signature]*  
ADMINISTRATOR

LOCATION DRAWING OF:  
**#10301 BRANDYWINE ROAD**  
**LOT 1**  
**CONTE POINT**  
PLAT BOOK 235, PLAT 12  
PRINCE GEORGE'S COUNTY, MARYLAND  
SCALE: 1"=40' DATE: 11-10-2021  
DRAWN BY: SM FILE #: 2113478-286

LEGEND  
FENCE  
B/E - BOUNDARY ENTRANCE  
B/W - BAY WINDOW  
ST - STONE  
BRL - BLDG RESTRICTION LINE  
BSMT - BASEMENT  
C/S - CONCRETE STOOP  
CON - CONCRETE  
DW - DRAINWAY  
ER - ERICING  
FR - FRAME  
MAC - MACADAM  
G - GATE  
OH - OVERHANG  
PUE - PUBLIC UTILITY ESMT  
PIE - PUBLIC IMPROVEMENT ESMT  
COLOR KEY

A Land Surveying Company

**DULEY**  
and  
Associates, Inc.  
Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772  
Phone: 301-888-1111 Fax: 301-888-1114  
Email: orders@duley.biz On the web: www.duley.biz



### SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09 13 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCED BUILDING OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE PURPOSE OF SELLING, PURCHASING, OR REFINANCING THE PROPERTY OR ENTERING INTO A CONSTRUCTION AGREEMENT, PROVIDED THAT THE SURVEY IS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF A LENDER OR AN INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONSIDERATION FOR TRANSFER, FINANCING OR REFINANCING THE LEVEE OF ACCURACY FOR THIS DRAWING IS 1%. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THE SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

EXH. # 2  
V-14-22

### DULEY & ASSOC.

WILL GIVE YOU A 100%  
FULL CREDIT TOWARDS  
UPGRADING THIS  
SURVEY TO A  
"BOUNDARY/STAKE"  
SURVEY FOR ONE  
YEAR FROM THE DATE  
OF THIS SURVEY

(EXCLUDING D.C. & BALTIMORE CITY)

Look Good

MEDALLION SECURITY DOOR AND WINDOW CO.  
2849 KAVERTON RD  
FORESTVILLE MD 20747  
301-420-1800

MINIMUM N DESIGN LOADS (PER 2018 IRC)

NOTE: COMPONENTS HAVE BEEN CHECKED  
AGAINST DESIGN LOADS SHOWN & FOUND TO  
BE ACCEPTABLE STRUCTURALLY

MINIMUM N DESIGN LOADS:

DEAD LOADS:

1. ROOF: 2 PSF
2. WALLS: 5 PSF
3. FLOOR: 10 PSF

LIVE LOADS:

1. ROOF: 30 PSF
2. WALLS: 115 MPH - 3 SEC. WIND GUST
3. FLOOR: 40 PSF

DEFLECTION LIMITS:

1. ROOF: L/180
2. WALLS: L/175
3. FLOOR: L/240

NOTE: THIS ENCLOSURE IS NOT TO BE  
CONSIDERED AS USE AS PERMANENT LIVING  
AREA. DO NOT CONSIDER AS NON-CONDITIONED  
SPACE, EXEMPT FROM ENERGY REQUIREMENTS  
(PER 2015 IRC SECTION N110.1)

NOTE:  
-ALL CONCRETE TO BE 3000 PSI MINIMUM  
-ALL LUMBER TO BE SPT #2 OR BETTER,  
PRESSURE TREATED WHERE REQUIRED.  
-WHERE REQUIRED, METALS IN CONTACT WITH  
PRESSURE TREATED LUMBER MUST BE  
ADEQUATELY PROTECTED.  
-ALL GLASS TEMPERED SAFETY PER ANSI Z97.1  
STANDARDS  
-ALLOWABLE SOIL PRESSURE CONSIDERED  
PRESUMPTIVE 1500 PSF

DRAWING #	DESCRIPTION
1	COVER I
2	INSTALLERS LAYOUT
3	ELEVATION FRONT
4	FLOOR PLAN - CONTINUOUS LOAD PATH
5	CROSS SECTION - CONTINUOUS LOAD PATH
6	DECK LAYOUT GIRDERS & FOOTINGS
7	LEDGER AND BEAM FASTENER SCHEDULES
8	SYSTEM DETAILS ROOF
9	SYSTEM DETAILS WALLS
10	SYSTEM WALL CROSS SECTION
11	SOIL BEARING & WIND UPLIFT
12	SNOW LOAD CALCULATIONS

PROJECT FOR:  
WATSON  
10301 BRANDYWINE RD.  
CLINTON MD 20735

SUNROOM  
SPECIFICATIONS

ROOM STYLE STUDIO  
ROOM DIMENSIONS: 28'-0" x 7'-6" TO 15'-6"  
COLOR: SANDSTONE  
HIGH PERFORMANCE MULTI COAT GLASS  
SLIDING WINDOWS TEMP SAFETY TEMPERED

3(a)

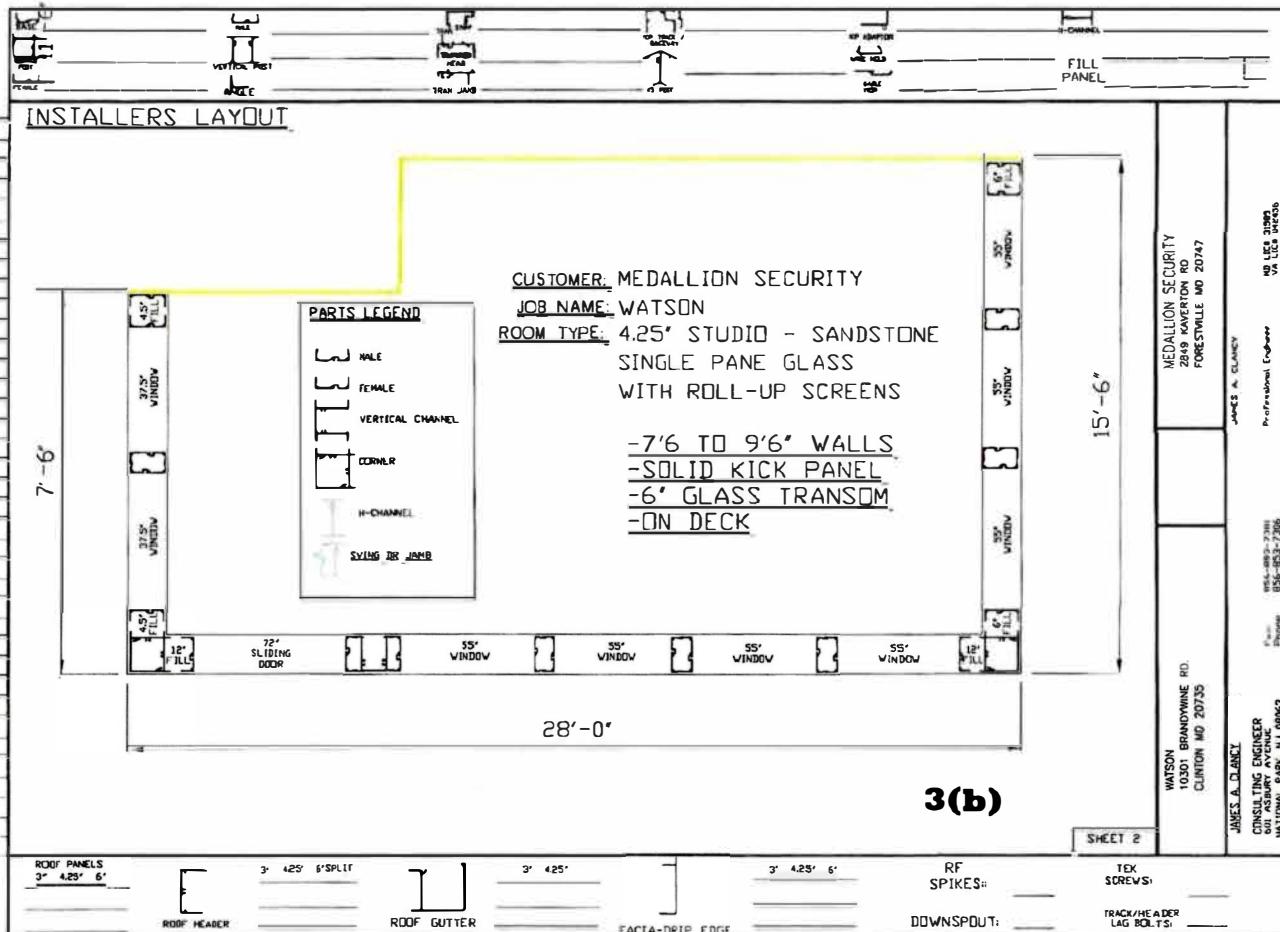
WATSON 10301 BRANDYWINE RD. CLINTON MD 20735	JAMES A. CLANCY CONSULTING ENGINEER 601 ASbury AVENUE NATIONAL PARK, NJ 08063	2849 KAVERTON RD FORESTVILLE MD 20747	JAMES A. CLANCY Professional Engineer MD Lic# 31555 VA Lic# 642-95
SHEET 1			

**BOARD OF APPEALS**

**APPROVED APR 06 2022**

  
BRIAN STONE  
ADMINISTRATOR

STD
3X8
3X9
3X10
3X11
3X12
4X8
4X9
4X10
4X11
4X12
5X8
5X9
5X10
5X11
5X12
# Top Tran
# Bottom Tran
# Cuttom Tran
5' Door
5' open x 8
5' open x 9
5' open x 10
5' open x 12
5' dr Tran
6' Door
6' open x 8
6' open x 9
6' open x 10
6' open x 12
6' dr Tran
3' RH LH
3' open X
3' open X
3' dr Tran
12" DEAD LIGHT
16" DEAD LIGHT
24" DEAD LIGHT

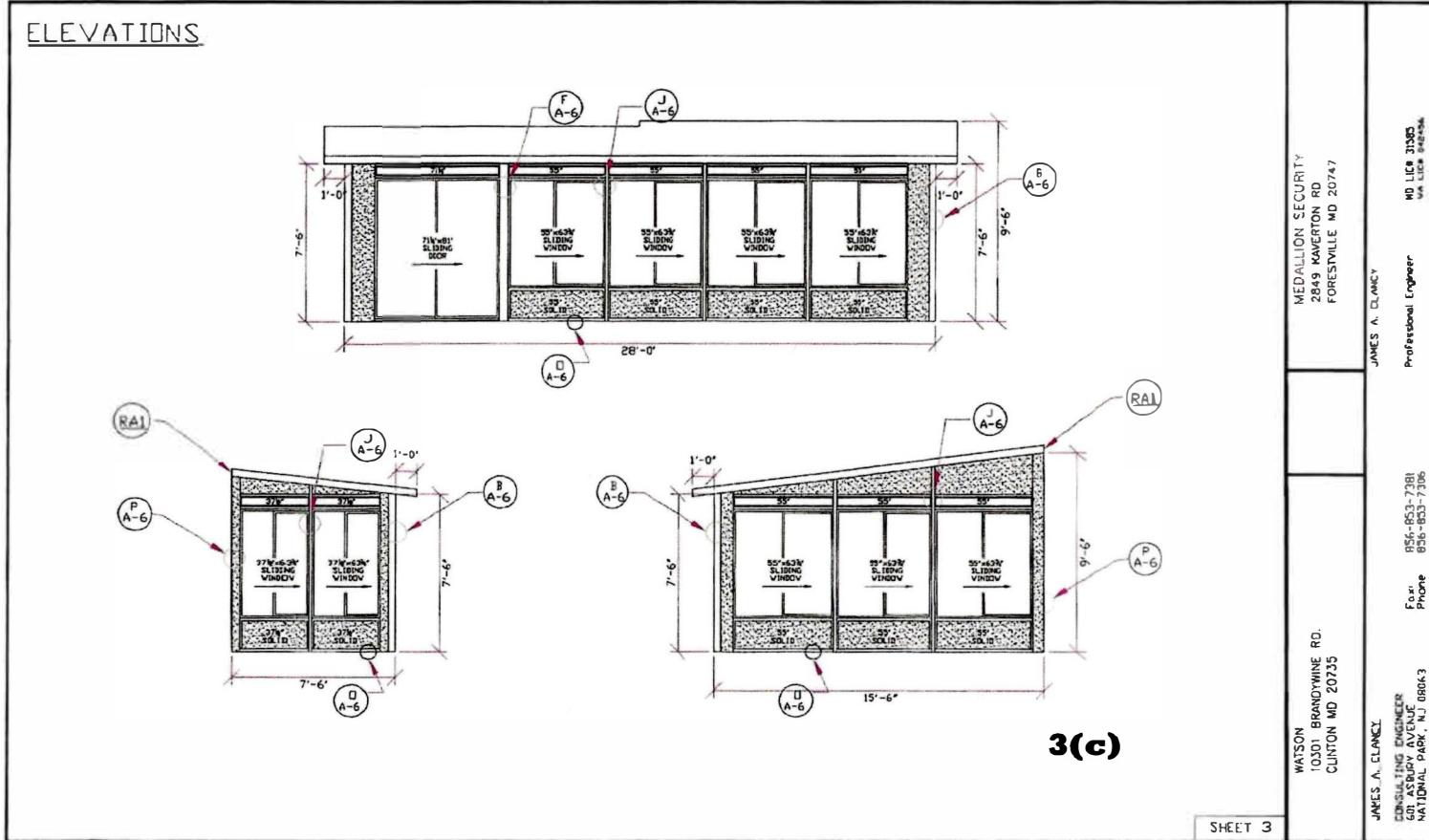


## BOARD OF APPEALS

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*B. Stone*  
 ADMINISTRATOR

ELEVATIONS

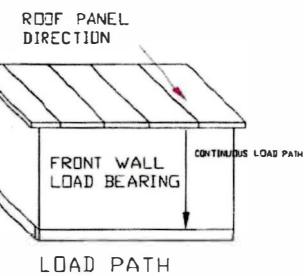
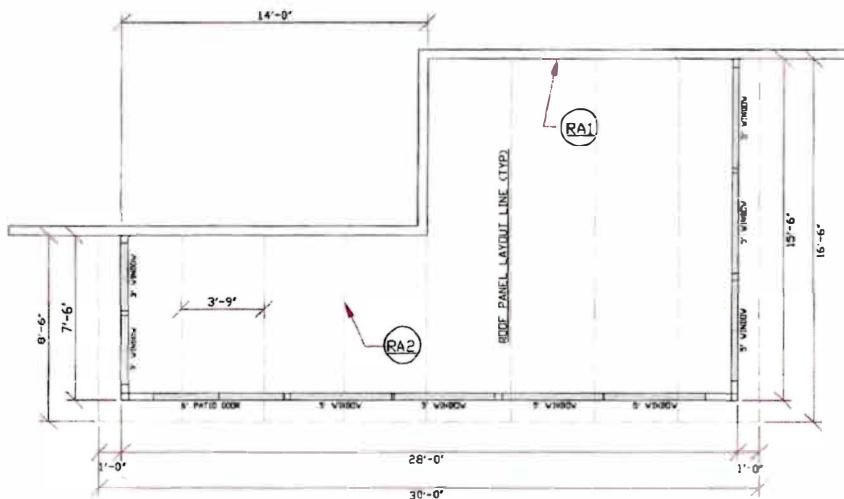


**BOARD OF APPEALS**

**APPROVED** APR 06 2022

*By [Signature]*  
ADMINISTRATOR

FLOOR PLAN



**3(d)**

SHEET 4

WATSON 10301 BRANDYWINE RD. CLINTON MD 20735	MEDALLION SECURITY 2849 KAVERTON RD FORESTVILLE MD 20747
JAMES A. CLANCY CONSULTING ENGINEER 601 ASBURY AVENUE NATIONAL PARK, NJ 08063 Fax: 856-853-7381 Phone: 856-854-3066 N.J. LIC. #08063 PA LIC. #42255	JAMES A. CLANCY Professional Engineer MD LIC. #31855 VA LIC. #42255

## BOARD OF APPEALS

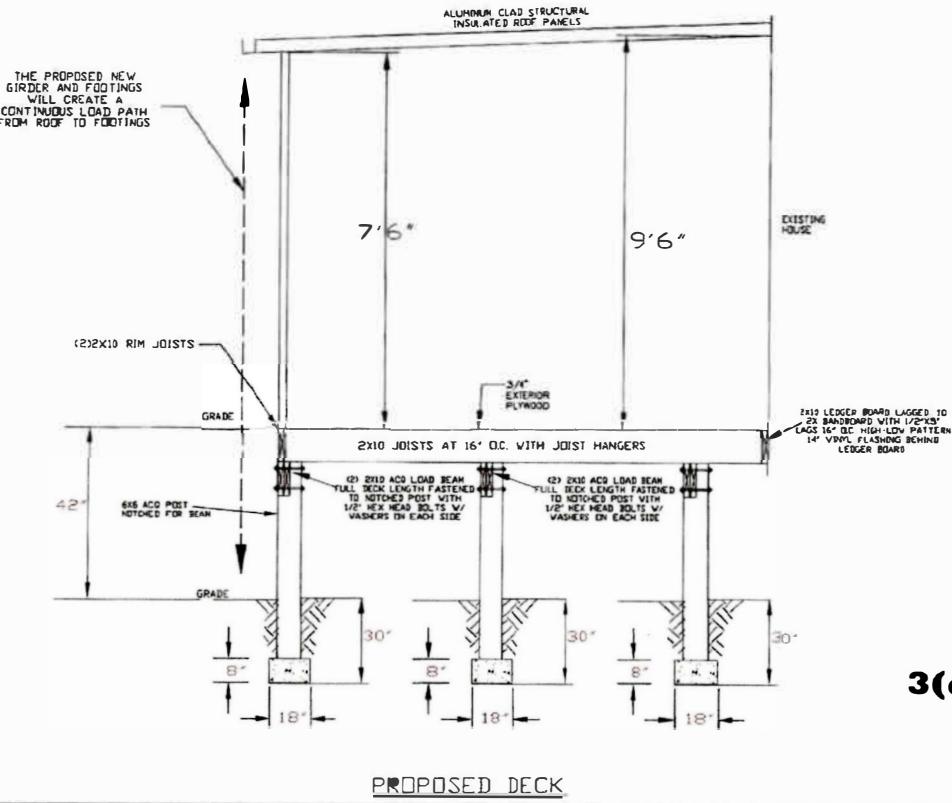
APPROVED

APR 06 2022

S. Stone  
ADMINISTRATOR

CROSS SECTION

NOT TO SCALE



3(e)

SHEET 5

WATSON 10301 BRANDYWINE RD. CLINTON, MD 20735	JANE S. A. CLANCY Project Manager	NO LICK JESUS VA LICK 0424-36
JAMES A. CLANCY CONSULTING ENGINEER 601 ASBURY AVENUE NATIONAL PARK, NJ 08963	856-853-7381 Fax: 856-853-7386 Phone:	

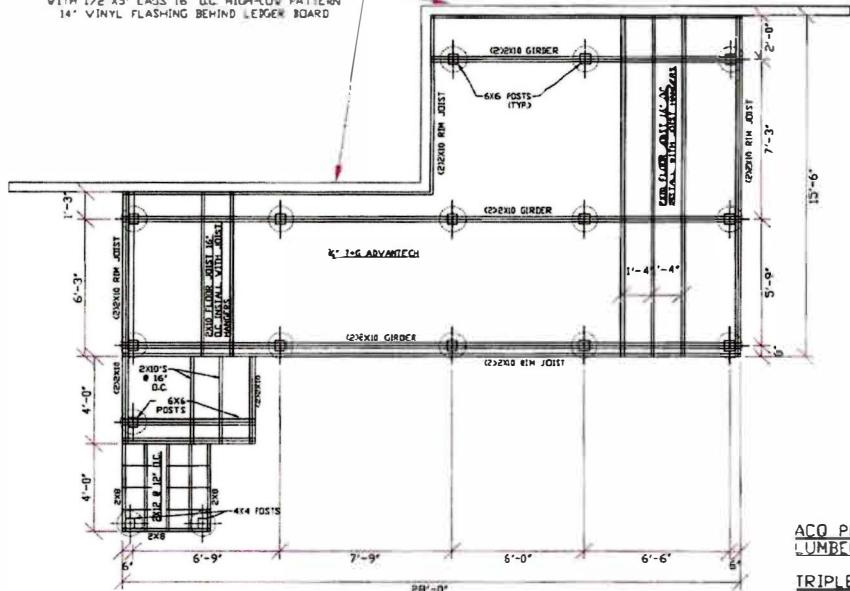
## BOARD OF APPEALS

APPROVED APR 06 2022

*S. Stone*  
ADMINISTRATOR

### DECK DETAIL

2X10 LEDGER BOARD LAGGED TO 2X BANDBOARD  
WITH 1/2"X5" LAGS 16" O.C. HIGH-LOW PATTERN  
14" VINYL FLASHING BEHIND LEDGER BOARD



ACQ PRESSURE TREATED  
LUMBER

FOOTINGS LOCATION

3(f)

SHEET 6

GIRDER SIZE	ALLOWABLE SPAN BETWEEN COLUMNS	JOIST SPANS	FLOOR JOIST	SPACING	MAX. O.C. FOR SPAN	HOUSE WALL ELECTION	
						6'	8'
2- 2' x 6'	6' 0"	6' 0"	10'	12'	14'	16'	18'
2- 2' x 6'	6' 0"	5' 6" 5' 11"	7' 0" 7' 9"	4' 7" 5' 11"	5' 11" 6' 5"	6' 0" 7' 0"	9' 0" 10' 0"
2- 2' x 6'	6' 0"	2' 7" 6" 5"	5' 10" 5' 5"	2' 8" 9"	2' 9" 10"	16'	13' 1"
2- 2' x 8'	B' 6"	7' 4" 6' 6"	5' 11" 5' 6"	2' 8" 10"	2' 9" 12"	16'	11' 10"
2- 2' x 10"	10' 0"	8' 9" 7' 9"	7' 1" 6' 6"	2' 10" 12"	2' 10" 12"	16'	16' 2"
3- 2' x 8'	10' 7"	9' 3" 8' 3"	7' 6" 6' 11"	2' X 10"	16'	10' 0"	14' 0"
3- 2' x 10'	12' 9"	11' 0" 10' 9"	9' 8" 9' 3"	2' X 12"	16'	12' 0"	18' 0"
2- 2' x 12'	11' 11"	10' 4" 9' 2"	8' 4" 7' 9"	2' X 12"	16'	12' 0"	16' 6"
3- 2' x 12'	15' 0"	13' 0" 11' 7"	10' 6" 9' 9"				

Spans are based on 40 psf the load, 10psf dead load, No. 2 stress grade and wet conditions. Deflections of L/360, cantilever L/180. Source American Wood Council Prescriptive Residential Wood Deck Construction Guide DCA-6 table 3A.

Spans are based on 40 psf live load, 10psf dead load, No. 2 stress grade, and wet conditions. Deflections of L360. Source American Wood Council Prescriptive Residential Wood Deck Construction Guide DCA-table 2, and 2012 IRC (OSB25).

**NOTES:**  
INSTALL ON KENWALL TO GROUND - AROUND STEPS AND LANDINGS  
VINYL FLOORING  
BROWNSTONE DECKING AND TRIMBOARD  
BEIGE RAILING  
4"X6" LANDING

**NOTES:**  
ALL EXTERIOR STRUCTURAL LUMBER TO BE PRESSURE TREATED  
TO BE PRESSURE TREATED. ALL FASER-TITE TREATED LUMBER SHALL BE  
STAINLESS STEEL OR GALVANIZED AND CONFORM TO ASTM A50.  
ALL

<b>WATSON</b> 10301 BRANDYWINE RD. CLINTON MD 20735	<b>MEDALLION SECURITY</b> 2849 KAVERTON RD FORESTVILLE MD 21050	<b>James S. A. Glancey</b> Pr. of professional Engineers MB Lic# 21505
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## BOARD OF APPEALS

APPROVED APR 06 2022

*B. Strode*  
ADMINISTRATOR