



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

COUNTY ADMINISTRATION BUILDING, UPPER MARLBORO, MARYLAND 20772
TELEPHONE (301) 952-3220

CORRECTION

NOTICE OF FINAL DECISION

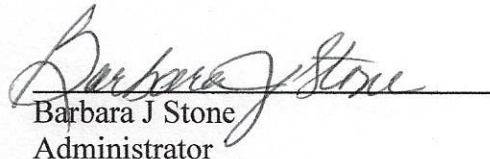
OF BOARD OF APPEALS

RE: Case No. V-68-20 Bounds Appraisal Services, Inc.

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: April 28, 2021

CERTIFICATE OF SERVICE

This is to certify that on _____ the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.


Barbara J Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioner: Bounds Appraisal Services, Inc.

Appeal No.: V-68-20

Subject Property: Lot 20, Block A, Hariclif Subdivision, being 3405 Newton Street, Mount Rainier,
Prince George's County, Maryland

Municipality: City of Mount Rainier

Counsel for Petitioner: Abdullah Hijazi, Hijazi Law Group, LLC

Witness: Sean Bounds, Owner, Bounds Appraisal Services, LLC

Heard: March 24, 2021; Decided: April 28, 2021

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Albert C. Scott, Vice Chairman
Anastasia T. Johnson, Member

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting variances from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioner requests that the Board approve a variance from Ordinance Section 27-442(b)(Table I) prescribes that each lot shall have a minimum net lot area of 5,000 square feet. Section 27-442(d)(Table III) prescribes that each lot shall have a minimum width of 45 feet measured along the front building line and 65 feet measured along the front street line. Section 27-442(e)(Table IV) prescribes that each lot shall have a front yard at least 25 feet in depth. Section 27-442(e)(Table IV) prescribes that each lot shall have a side yard at least 5 feet in width. Section 27-442(c)(Table II) prescribes that not more than 30% of the net lot area shall be covered by buildings and off-street parking. Petitioner proposes to validate the existing conditions (front yard depth, side yard width, net lot area, front building line, front street line and net lot coverage) and obtain a building permit for a second-floor addition. Variances of 568 square feet net lot area, 2 feet front building line width and 20.55 feet front street line width, 9 feet front yard depth, 1.5 feet side yard width and 9.6% net lot coverage were requested.

Evidence Presented

The following testimony and record evidence were considered by the Board:

1. The property was subdivided in 1923, contains 4,432 square feet, is R-55 zoned (One-Family Detached Residential), and is improved with a one-story single-family dwelling. Exhibits (Exhs.) 4, 9, 10, 11 (A) thru (G), 21 (a) thru (i) and 26.

2. Attorney Abdullah Hijazi stated that on the subject property is a single-family dwelling for which Petitioner is requesting to construct a second story addition on the structure's footprint. Petitioner is requesting the second-floor addition because of the minimum square footage of the house. He stated that Petitioner is, therefore, requesting validation of certain existing conditions on the property that is required prior to commencing construction.

3. Because the property was subdivided in 1923 and the house was built in the same year, the following property conditions do not meet current zoning standards for the property:

- a. The front yard depth requires a depth of 25 feet, requiring a variance of 9 feet and side yard width requiring 5 feet, requesting a variance of 2 feet.
- b. The net lot area is deficient the required 5,000 square feet, requiring a variance of 568 square feet.
- c. The front building line width is deficient of the required 45 feet, requiring a variance of 2 feet.
- d. The front street line width requires a width of 65 feet requiring a variance of 20.55 feet.
- e. The net lot area maximum allowable percentage being 30%, requiring a variance of 9.6%.

See Exhs. 4, 9, 10, 11 (A) thru (G), 21 (a) thru (i) and 26.

4. Counsel stated that because the lot and single-family dwelling were created and built in 1923, respectively, prior to the enactment of the Zoning Ordinances, the conditions of the property would be ordinarily be grandfathered from the current zoning requirements, but because of the need for the proposed new construction of the second story addition, the preexisting conditions associated with the property must be addressed and satisfied with the requested variances.

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

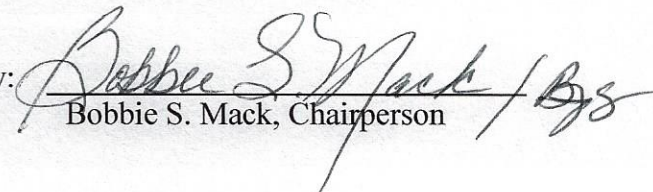
Findings of the Board

After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variance complies with the applicable standards set forth in Section 27-230, more specifically:

Due to the property being subdivided and the dwelling being created prior to the enactment of the current zoning requirements, the proposed second-story addition will have the exact footprint of the first floor of the dwelling, the addition will be used for additional living space and the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan and denying the request would result in a peculiar and unusual practical difficulty upon the owner of the property.

BE IT THEREFORE RESOLVED, unanimously, that variances of 568 square feet net lot area, 2 feet front building line width and 20.55 feet front street line width, 9 feet front yard depth, 1.5 feet side yard width and 9.6% net lot coverage require validation of the existing to obtain a building permit for a second-floor addition on the property located at 3405 Newton Street, Mount Rainier, Prince George's County, Maryland, be and are hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved revised site plan, Exh. 26 and approved revised elevation plans, Exh. 31 (a) thru (n).

BOARD OF ZONING APPEALS

By: 
Bobbie S. Mack, Chairperson

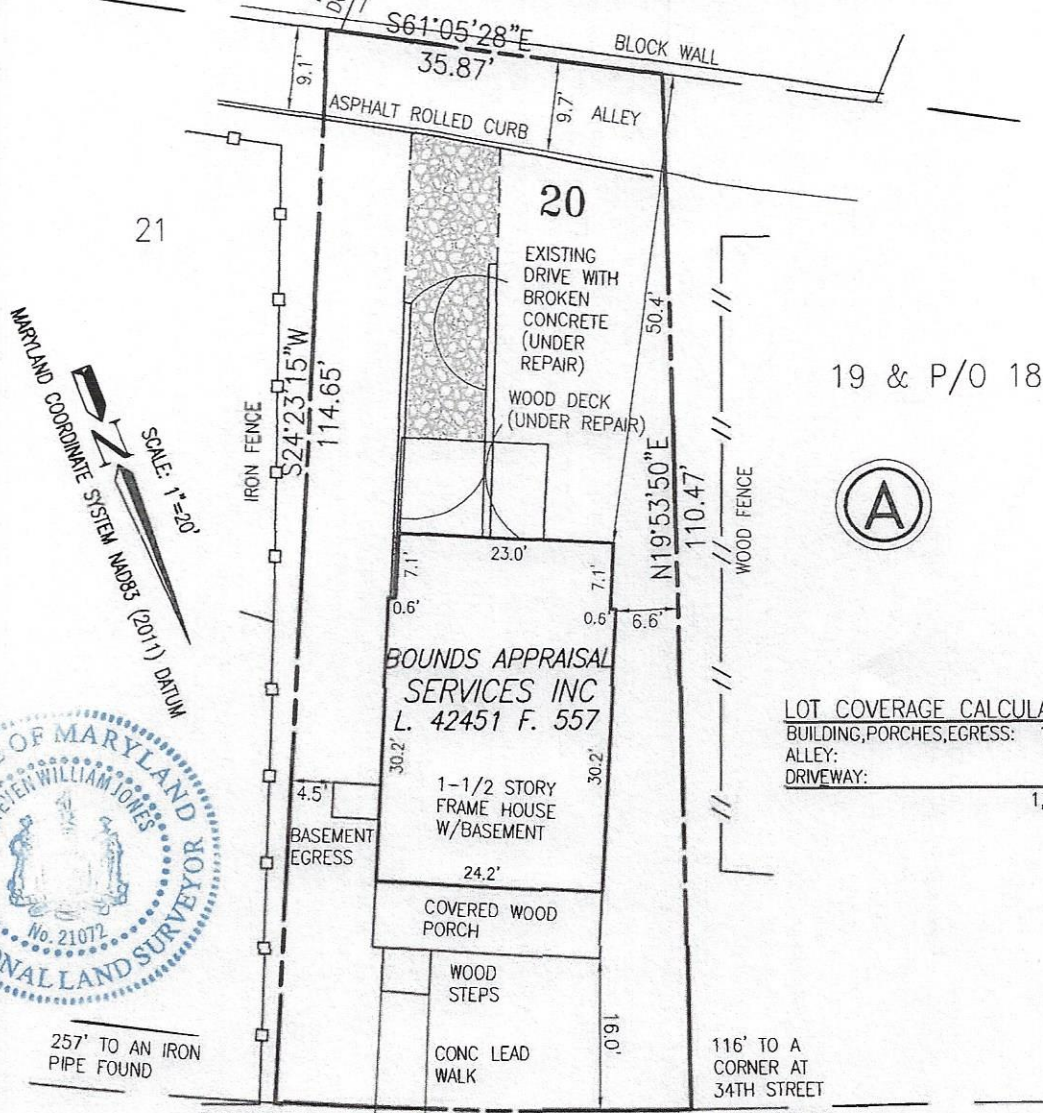
NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

ROBERT FUNKHOUSER'S RESUBDIVISION
OF
HARICLIF
PLAT BOOK RNR 2 P 67

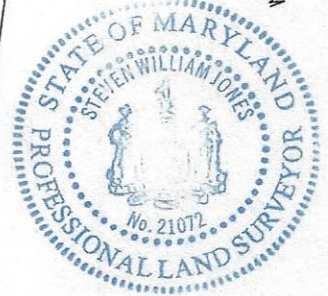


BOARD OF APPEALS

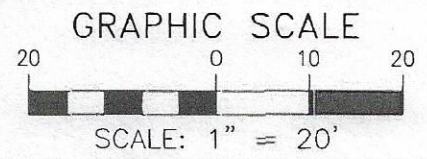
APPROVED APR 28 2021

ADMINISTRATOR

LOT COVERAGE CALCULATIONS	
BUILDING, PORCHES, EGRESS:	1,087 SF
ALLEY:	367 SF
DRIVEWAY:	282 SF
	1,736 SF



R=584.00' A=44.45'
NEWTON STREET



NOTES:

1. THE FIELDWORK FOR THIS SURVEY WAS PERFORMED ON FEBRUARY 4, 2021
2. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 4,515 SQUARE FEET OR 0.1037 ACRES OF LAND.
3. PERPENDICULAR DISTANCE TIES FROM THE BUILDING TO THE PROPERTY LINES ARE PLUS OR MINUS TWO-TENTHS OF A FOOT ($\pm 0.2'$).
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON WAS OBTAINED USING ACCEPTED LAND SURVEYING PRACTICES; THAT THE BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM AVAILABLE DEEDS AND RECORDS AND A FIELD SURVEY; THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED UNDER MY RESPONSIBLE CHARGE AND ARE IN COMPLIANCE WITH COMAR REGULATION 09.13.06.12.

DATE: 2/10/21

STEVEN W. JONES
PROFESSIONAL LAND SURVEYOR
MD LIC. # 21072 EXP. 02/08/2023

EXH. # 26
V-68-20

Special Purpose Survey
3405 NEWTON STREET
MOUNT RAINIER
LOT 20, BLOCK A
HARICLIF
CHILLUM (17TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
www.cpjia.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

CLIENT: HILLMAN OFFICES	PRELIMINARY PLANNING	SITE PLAN NO.
DESIGN: SWJ	SHEET	1 OF 1
DATE: 2/5/2021	FILE NO:	2021-1050-003
SCALE: 1" = 20'		

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CONSTRUCTION NOTES	
1-	ANY FEDERAL, STATE, OR LOCAL LAWS, CODES, RULES AND REGULATIONS AS THEY MAY BE APPLICABLE SHALL BE COMPLIED WITH, WHETHER OR NOT INDICATED AND / OR SPECIFIED HEREIN.
2-	THE CONTRACTOR SHALL CARRY ALL NECESSARY LIABILITY INSURANCE AND WORKMAN'S COMPENSATION INSURANCE, AND SHALL FURNISH THESE DOCUMENTS TO THE OWNER BEFORE THE WORKS PROCEEDS.
3-	ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE FASHION IN CONFORMANCE WITH RULES OF ACCEPTED GOOD PRACTICE.
4-	THE CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH THE DRAWINGS AND APPLICABLE BUILDING CODES AND SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE WORK BEGINS. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL INFORM THE OWNER OF ANY DISCREPANCIES, OMISSIONS, ETC., WHICH MAY AFFECT CONSTRUCTION AND REQUEST CLARIFICATION BEFORE PROCEEDING WITH THE WORK. CHANGES MADE BY THE CONTRACTOR BEFORE REQUESTING CLARIFICATION WILL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY AND MADE AT NO COST TO ANY OTHER PARTY.
5-	ALL MATERIALS CONTEMPLATED IN THESE DRAWINGS SHALL BE NEW AND OF GOOD QUALITY, U.S.A.
6-	THE CONTRACTOR'S ACCESS TO THE JOB SITE, STORAGE OF MATERIALS AND DEBRIS, AND PARKING SHALL BE PROVIDED BY THE OWNER.
7-	UTILITIES, ELECTRICITY AND WATER SHALL BE FREE OF CHARGE TO THE CONTRACTOR.
8-	THE OWNER SHALL PROVIDE ANY DRAWINGS OR SUBMITTALS REQUIRED FOR PERMIT.
9-	THE PREMISES WILL BE OCCUPIED DURING CONSTRUCTION. COORDINATE CONSTRUCTION SCHEDULE WITH THE OWNER.
10-	PROVIDE INSULATION AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE EXPANDING FOAM INSULATION AROUND ELECTRICAL OUTLETS, AND OTHER DEVICES INSTALLED IN EXTERIOR STUD WALL AND SEAL ALL OTHER PENETRATIONS AND GAPS IN EXTERIOR WALLS. EXTERIOR PIPES SHALL BE INSULATED TO PREVENT THEM FROM FREEZING.
11-	THE CONTRACTOR SHALL PROVIDE DOOR HARDWARE TO MEET THE FIRE AND EGRESS REQUIREMENTS OF THE APPROPRIATE CODES. DO NOT INSTALL LEADERS OR HANDLE LOCKERS WHICH REQUIRE KEY FROM THE INTERIOR.
12-	BLOCKING SHALL BE PROVIDED FOR ALL WALL AND CEILING MOUNTED FIXTURES AND ACCESSORIES, INCLUDED BUT NOT LIMITED TO DOOR STOPS, TOWEL BARS, HOOKS, GRAB BARS, WALL CABINETS AND CEILING FANS. IF LOCATION OF THESE ITEMS IS NOT SHOWN IN THE DRAWINGS, CONSULT WITH OWNER OR THE ARCHITECT.
13-	ELECTRICAL OUTLETS AND SWITCHES TO BE TO CODE, PLUGGING AND SWITCHING PLANS SHOW INTENTION OF DESIGN AND SHALL BE ADJUSTED AS NEEDED IN THE FIELD AND PER THE ELECTRICAL AND FIRE MARSHAL INSPECTIONS.
14-	UNIT PLANS ARE DIMENSIONED TO FACE OF STUD, UNLESS NOTED OTHERWISE. TYPICAL FRAMING IS WITH A 2X4 OR 2X6 WOOD STUD UNLESS NOTED OTHERWISE. ALL "WET" WALLS AND WALLS BEHIND WASHERS AND DRYERS TO BE 2X6.
15-	PROPERTY WILL NOT BE OCCUPIED DURING CONSTRUCTION.
16-	COORDINATE PROJECT SPECIFIC MANUFACTURER'S DIMENSIONS REQUIRED FOR AIR HANDLER WITH SIZE OF MECHANICAL CLOSETS AND MECHANICAL CLOSET DOORS BEFORE BUILDING ENCLOSURE WALLS AND FUR DOWNS. ADJUSTS REQUIRED. CONTRACTOR TO VERIFY BEFORE PURCHASE OF DOORS THAT A HINGE DOOR WILL PROVIDE ADEQUATE VERTICAL ACCESS TO PROJECT SPECIFIC MECHANICAL UNIT FOR SERVICING.
17-	PROVIDE IN BASE BID VENTILATED WIRE SHELVES ARE TYPICAL AND NOTED AS EITHER WIRE SHELVES OR "CLOSE MESH" (CAN WIRE SHELVES PER CLOSED MESH). "R" IS ABBREVIATES ONE ROD ONE SHELF. "2R" IS ABBREVIATES TWO ROD ONE SHELF. COORDINATE WITH OWNER IF SPECIFIC BUILD- IN BUILDING AND CABINETS IS REQUIRED.
18-	ALL TUB AND SHOWER AREAS SHALL BE ENCLOSED WITH MOISTURE RESISTANT USG 5/8" GYPSUM BOARD AND/OR 1/2" DUROCK CEMENT BOARD, AS APPLICABLE.
19-	ALL FLOOR FINISHES TO BE AS PER OWNER'S SELECTION.
20-	INTERIOR TRIM PER OWNER SELECTION.
21-	FINISHED OF EXPOSED PLUMBING FIXTURES AND ACCESSORIES PER OWNER'S APPROVED SELECTION.
22-	ALL INTERIOR UNIT WALLS TO BE PAINTED SMOOTH SURFACE GYPSUM BOARD LEVEL 4 FINISH AND PAINTED BASE TRIM CAULKED ALONG ALL JOINTS UNLESS OTHERWISE NOTED.
23-	PROVIDE ALL OWNERS IN BASE BID FOR PLUMBING FIXTURES AND LIGHTING.
24-	ENTRY DOORS SHOWN ARE TO BE HELD 4" OFF HINGE SIDE OF WALL. INTERIOR DOORS ARE HELD 4" OFF HINGE SIDE OF WALL OR ARE CENTERED, UNLESS OTHERWISE NOTED ON PLANS.
25-	COORDINATE DOOR HARDWARE FINISH PACKAGE WITH OWNER.

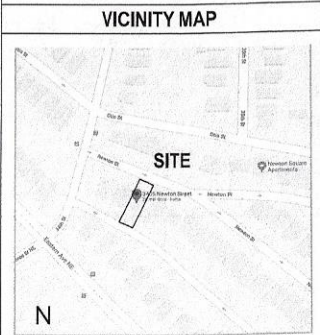
ABBREVIATIONS	
AC	AIR CONDITIONER
AD	AWND DOMIN
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
AVG	AVERAGE
BLKG	BLOCKING
CF	CUBIC FEET
CL	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CLR	CLEAR
COL	COL URM
CONC	CONCRETE
CONT	CONTINUOUS
D	DRYER
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DS	DOWNSPOUT
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
FD	FLOOR DRAIN
FL	FOUNDATION
FND	FOOTING
FTG	GAUGE
GA	GALVANIZED
GWB	GYPSUM WALLBOARD
HORIZ	HORIZONTAL
ID	INSIDE DIAMETER
INSUL	INSULATION
LAV	LAVATORY
LF	LINEAR FEET
LV	LAMINATED VENEER LUMBER
MACH	MACHINE
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
P	PLYWOOD
PREFAB	PREFABRICATED
PTD	PAINTED
RD	ROOF DRAIN
REF	REFRIGERATOR
REIN	REINFORCING
REQ	REQUIRED
RO	ROUGH OPENING
SF	SQUARE FEET
SM	SIMILAR
SPRC	SPECIFICATION
STD	STANDARD
STL	STEEL
STRUC	STRUCTURAL
T & G	TONGUE & GROOVE
TEL	TELEPHONE
TOW	TOP OF WALL
TYP	TYPICAL
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	WASHER
WH	WATER HEATER
WP	WATERPROOF
W/TH	WITH
W/OUT	WITHOUT
WWM	WELDED WIRE MESH

RESPONSIBILITIES	
OWNER	ARCHITECT
SHAWN BOUNDS	ALINE ARCHITECTURE, LLC
Phone: 340-655-5420	2503 LUSON LANE
call@shawnbounds@gmail.com	ALEXANDRIA, VA 22304
	ANLA/ANG/ELIA/LEED AP
	LIC: 00101873
	Phone: 703-481-6581
	anla@aline-architecture.com
	STRUCTURAL ENGINEER
	UNITED STRUCTURAL ENGINEERS, INC.
	21485 RIDGETOP CIRCLE, SUITE 104
	STERLING, VA 20166
	NSPE 738364-125
	Phone: 703-226-3730
	Cell: 703-474-3769
	uoe@unitedstructure.com

SHEET INDEX	
ID	Name
A-000	COVER SHEET
A-001	ARCHITECTURAL SITE PLAN
A-010	WALL TYPES
A-030	DOOR/WINDOW & HARDWARE SCHEDULE
D-100	EXISTING & SELECTIVE DEMOLITION PLAN
A-100	BASEMENT PLAN
A-101	1ST FLOOR
A-102	2ND FLOOR
A-103	ROOF PLAN
A-200	ELEVATIONS
A-300	SECTIONS
A-400	BASEMENT PLAN - RCP
A-401	1ST FLOOR PLAN - RCP
A-402	2ND FLOOR PLAN - RCP
A-500	DETAILS
A-501	DETAILS

PROJECT DATA	
DESCRIPTION OF WORK	
ADDITION OF SECOND FLOOR ON EXISTING FOUNDATIONS NEW BEDROOMS AND BATHROOMS ON SECOND FLOOR, KITCHEN RENOVATION, AND ROOF FRAMING PER STRUCTURAL PLANS B2A/PROVAL V-68-20	
APPLICABLE CODES	IRC 2018
CONSTRUCTION TYPE:	S B
USE GROUP:	RESIDENTIAL SINGLE FAMILY
PROJECT AREA	
EXISTING BASEMENT	709 SF
EXISTING 1ST FLOOR	961 SF
NEW ADDITION 2ND FLOOR	334 SF
TOTAL AREA	2,537 SF
FIRE RESISTANCE ANALYSIS	
EXTERIOR WALLS < 8' FROM PROPERTY LINE EXISTING	2HR
EXTERIOR WALLS > 8' FROM PROPERTY LINE EXISTING	0HR
INTERIOR WALLS	0HR
CORRIDOR	0HR
COLUMNS / POSTS	0HR
SHAFR WALLS	NA
FLOOR CONSTRUCTION	NA
ROOF CONSTRUCTION	NA
FIRE SEPARATION ASSEMBLY	1HR
FIRE WALL	NA
WATER & SEWER	
EXISTING WATER AND SEWER CONNECTIONS.	
ZONING INFORMATION	
R-55 (ONE-FAMILY DETACHED RESIDENTIAL)	

GRAPHIC REPRESENTATION	
	WOOD BLOCKING
	WOOD - CONTINUOUS
	INSULATION-BATTS
	FINISH SYSTEM
	SHEATHING



3405 NEWTON ST - ADDITION

#Site Full Address

GRAPHIC SYMBOLS	
	REFERENCE ELEVATION
	REVISION NUMBER AREA REVISED
	AREA SHOWN IN DETAIL
	WINDOWS SYMBOL
	DOOR SYMBOL
	WALL TYPE
	STEP DOWN
	ROOM / SPACE NUMBER
	INTERIOR ELEVATION MARK (SHEET DRAWN ON INTERIOR ELEVATION NUMBER)
	DETAIL MARK (SHEET DRAWN ON SHEET KEYED FROM)
	BEGIN/END SECTION (SHEET DRAWN ON SHEET KEYED FROM)
	END OF PARTIAL SECTION (SHEET DRAWN ON INTERIOR ELEVATION NUMBER)
	DETAIL CUT
	PROPERTY LINE
	CENTER LINE
	NORTH ARROW

BOARD OF APPEALS

APPROVED

APR 28 2021

ADMINISTRATOR

EXHIBIT
31 a-L
V-68-20

RELEASE DATE

#	DATE	PERMIT PLANS
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REVISIONS

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3405 NEWTON ST - ADDITION

3405 NEWTON ST., MT. RAINIER, MD 20712

COVER SHEET

SHAWN BOUNDS

Email: call@shawnbounds@gmail.com

Tel: 340-655-5420

ALINE ARCHITECTURE, INC.

2503 LUSON LANE

ALEXANDRIA, VA 22304

ANLA/ANG/ELIA/LEED AP

LIC: 00101873

Phone: 703-481-6581

anla@aline-architecture.com

STATE OF MARYLAND

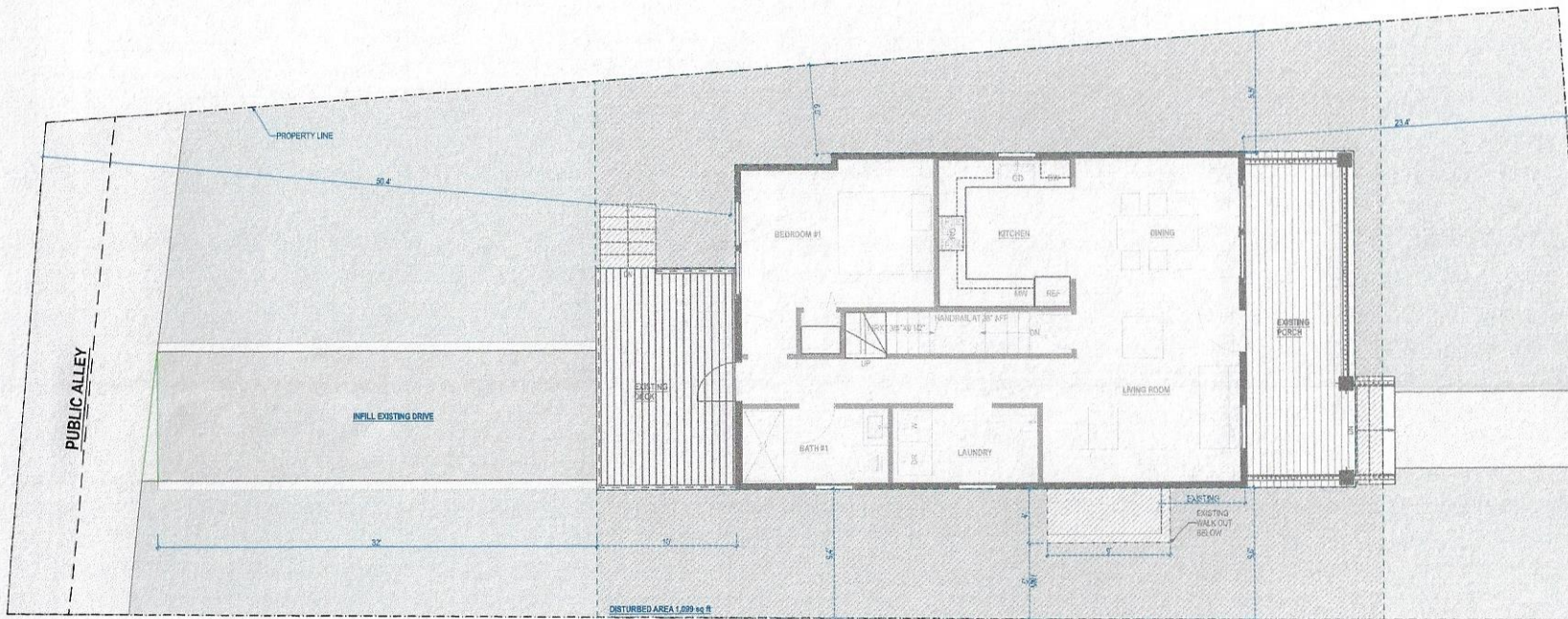
PROFESSIONAL ARCHITECT



NO. 001873

ARCHITECT

A-000

2005



RELEASE DATE	
8/8/2021	PERMIT PLANS
REVISIONS	
3405 NEWTON ST. - ADDITION	
3405 NEWTON ST., MT. RAINIER, MD 20712	
ARCHITECTURAL SITE PLAN	
SHAWN BOUNDS	
Email: cshawnbounds@gmail.com	
Tel: 240-505-9420	
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 0015803, EXPIRATION DATE 03/31/2024.	
 Aline Architecture PLANNING ARCHITECTURE INTERIORS A LINE ARCHITECTURE, LLC	
 A-001	
2015	

BOARD OF APPEALS

APPROVED APR 28 2021

Barstow
ADMINISTRATOR

1
A-001
ARCHITECTURAL SITE PLAN
SCALE: 1/4" = 1'-0"

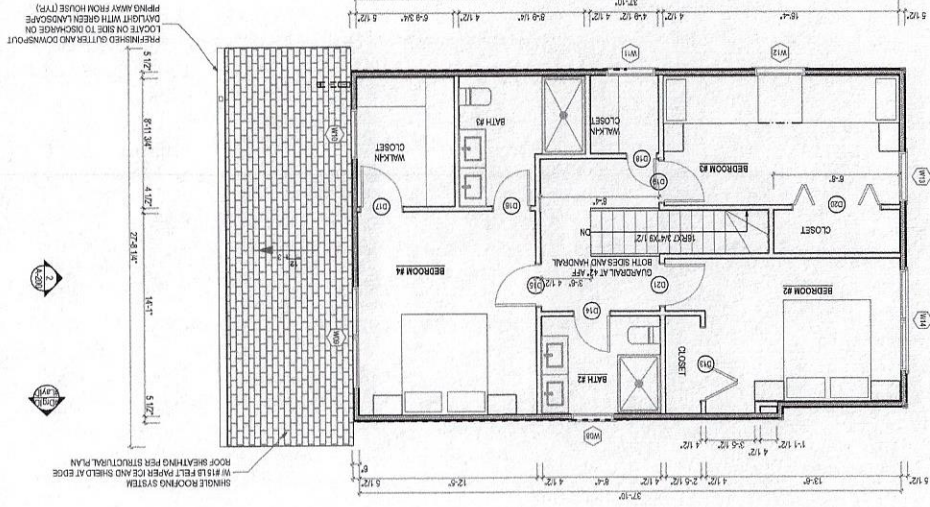
b



2005

ADMINISTRATOR

2ND FLOOR PLAN



Aline Architecture



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NUMBER 000177, EXPIRATION DATE

SHAWN BOUNDS

Email: calhoun@cs.cmu.edu
Tel: 210-505-3120

3405 NEWTON ST - ADDITION

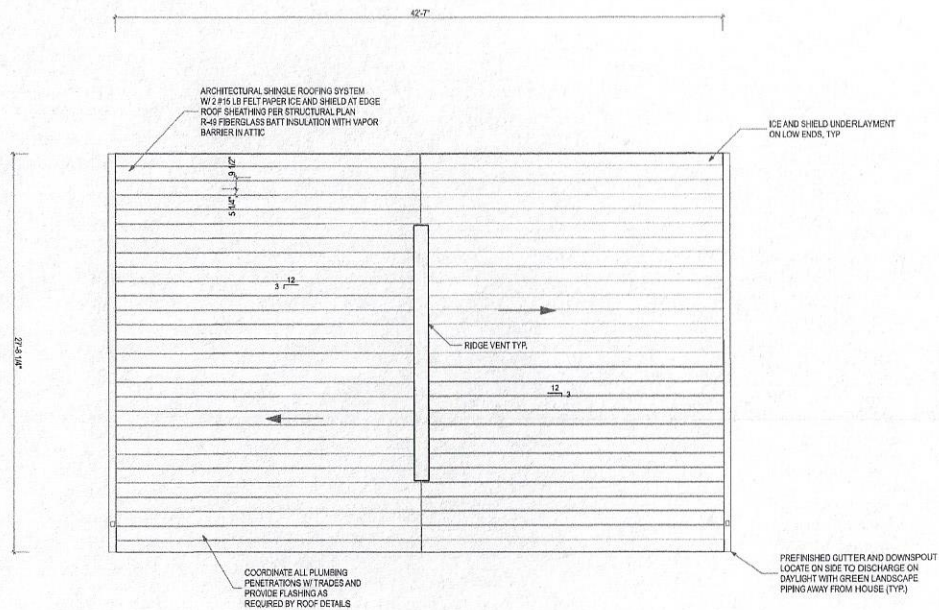
2ND FLOOR

REVISIONS

RELEASE DATE

PLANS

PLANS



BOARD OF APPEALS

APPROVED APR 28 2021

ADMINISTRATOR

1
A-103 ROOF PLAN
SCALE: 1/4" = 1'-0"

RELEASE DATE	
#	PERMIT PLANS

REVISIONS	

3405 NEWTON ST - ADDITION

3405 NEWTON ST., MT. GUNNER, MD 20712

ROOF PLAN

SHAWN BOUNDS

Email: calicoatounds@gmail.com
Tel: 240-655-3420

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 0001573, EXPIRATION DATE 09/30/2024.



ALine Architecture
PLANNING ARCHITECTURE INTERIORS
A 2001 INCORPORATED



A-103

20215

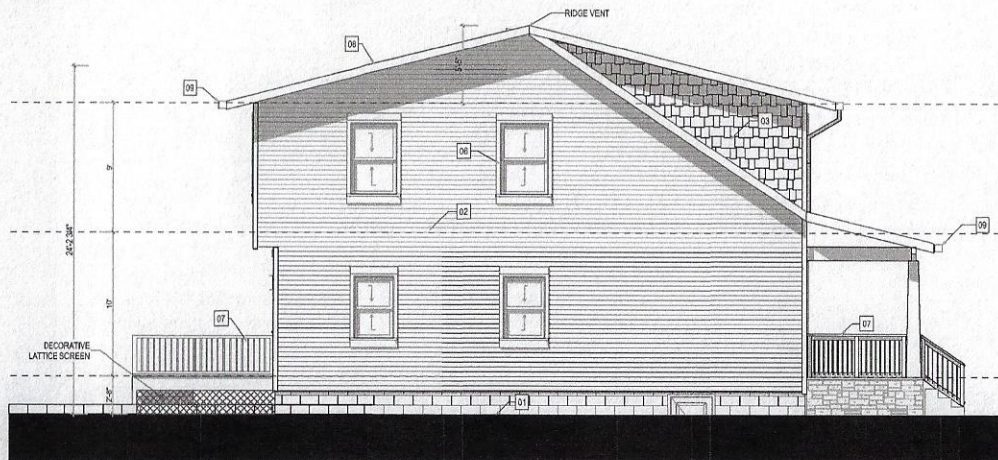
9

EXTERIOR MATERIAL SCHEDULE

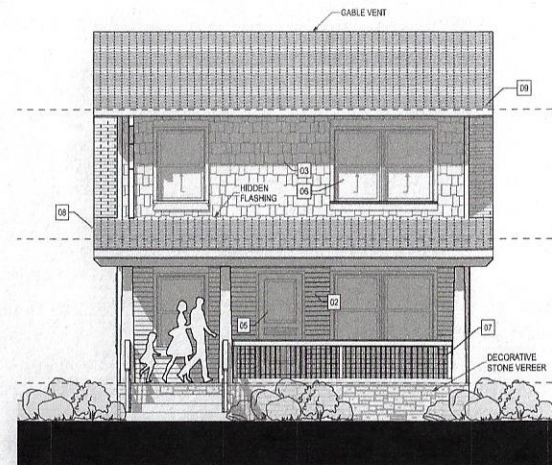
1. PAINTED PARGE BLOCK WALL
2. SIDING 1
3. SIDING 2
4. NOT USED
5. WINDOW
6. DOOR
7. RAILING
8. ROOFING-ARCHITECTURAL SHINGLES
9. PREFINISHED GUTTER AND DOWNSPOUT

NOTE:

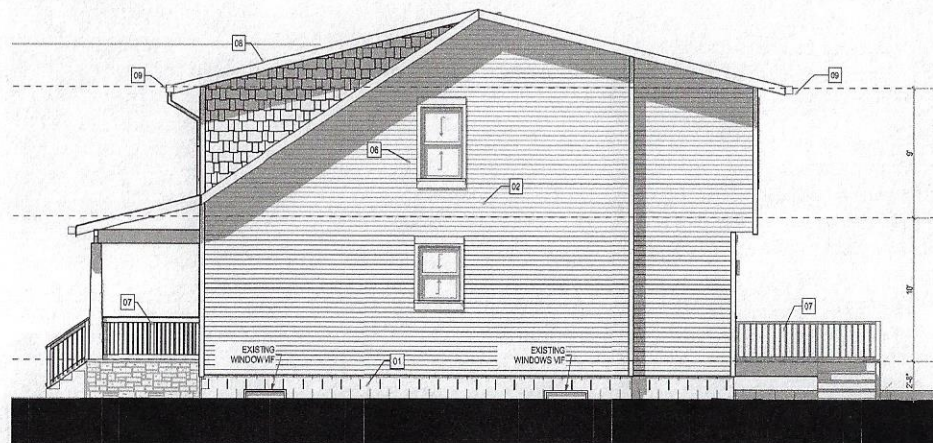
- ALL MORTAR TO MATCH ADJACENT BLOCK UNLESS NOTES OTHERWISE
- MANUFACTURER NAMES AND FINISHES ARE THE BASIS OF DESIGNS. EQUAL SUBSTITUTIONS ACCEPTABLE
- PROVIDE CJ IN BLOCK AS REQUIRED BY MFR. NOT USED. FENESTRATIONS SHALL BE LABELED TO MEET ANI/MIN/MA/CSA 101/BS 20440 OR DOES NOT EXCEED CODE LIMITS PER NFRC 400.3 CFM/FT² & CALX COLOR TO MATCH ADJACENT SURFACE, TYP.
- GLAZING SHALL BE INSULATED, TEMPERED AS REQUIRED BY CODE AND U-VALUE = 0.35. GLAZING SHGC = 0.64, DOOR U-FACTOR = 0.35



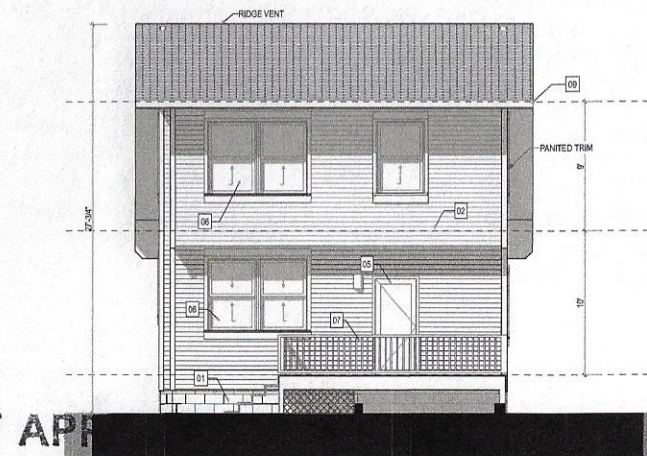
3 FRONT ELEVATION
A-200 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A-200 SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
A-200 SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
A-200 SCALE: 1/4" = 1'-0"

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[Signature]
ADMINISTRATOR

h

RELEASE DATE
8/2/21 PERMIT PLANS

REVISIONS

3405 NEWTON ST - ADDITION

3405 NEWTON ST., MT. RAINIER, MD 20712

ELEVATIONS

SHAWN BOUNDS

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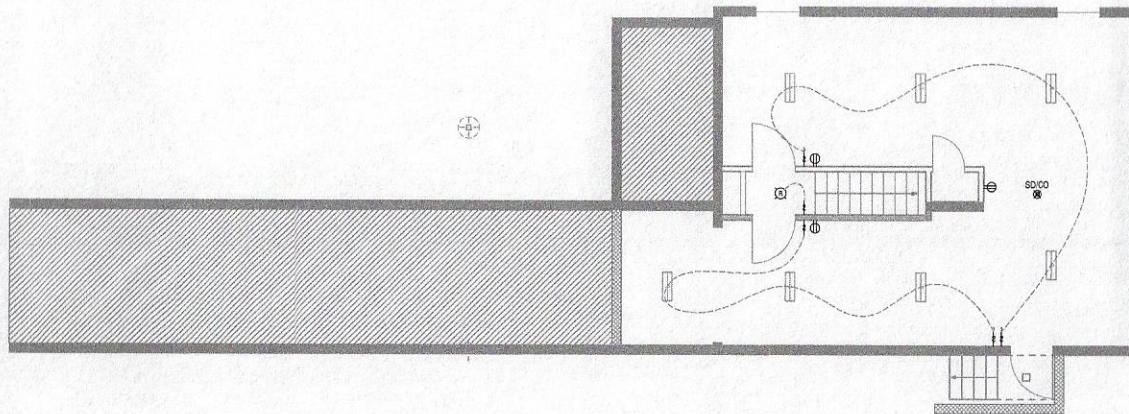
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A-200

2021/5



ELECTRIC LEGEND

-  CEILING VENTILATOR
-  110 VOLT OUTLET
-  WEATHERPROOF OUTLET
-  GROUND FAULT PROTECTED OUTLET
-  FLOOR OUTLET
-  CEILING OUTLET
-  SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  CEILING EXHAUST FAN
-  SMOKE/CARBON MONOXIDE DETECTOR
-  CEILING HUNG FIXTURE
-  VANITY LIGHT
-  WALL MOUNT FIXTURE
-  WEATHERPROOF WALL MOUNT FIXTURE
-  RECESSED CEILING FIXTURE
-  CEILING FIXTURE - OUTDOOR
-  WEATHERPROOF FIXTURE
-  UTILITY LIGHT
-  FLUORESCENT LIGHT
-  EMERGENCY LIGHT
-  JUNCTION BOX

RELEASE DATE	
#	DATE
1	02/21
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REVISIONS	
#	DESCRIPTION
1	
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3405 NEWTON ST - ADDITION	3405 NEWTON ST., MT. RAINIER, MD 20712
BASEMENT PLAN - RCP	

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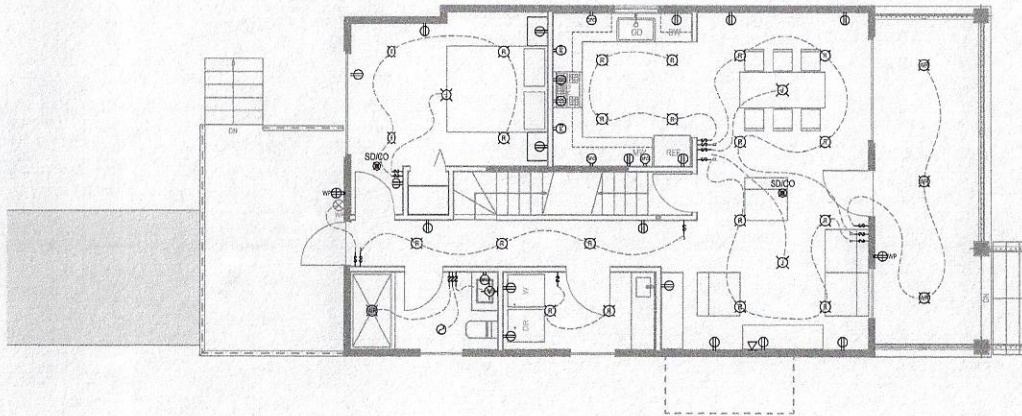


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















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[Signature]
ADMINISTRATOR

J



ELECTRIC LEGEND

-  CEILING VENTILATOR
-  110 VOLT OUTLET
-  WEATHERPROOF OUTLET
-  GROUND FAULT PROTECTED OUTLET
-  FLOOR OUTLET
-  CEILING OUTLET
-  SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  CEILING EXHAUST FAN
-  SMOKE/CARBON MONOXIDE DETECTOR
-  CEILING HUNG FIXTURE
-  VANITY LIGHT
-  WALL MOUNT FIXTURE
-  WEATHERPROOF WALL MOUNT FIXTURE
-  RECESSED CEILING FIXTURE
-  CEILING FIXTURE - OUTDOOR
-  WEATHERPROOF FIXTURE
-  UTILITY LIGHT
-  FLUORESCENT LIGHT
-  EMERGENCY LIGHT
-  JUNCTION BOX

RELEASE DATE	
#	DATE
1	6/2/21

REVISIONS	

3405 NEWTON ST - ADDITION

3405 NEWTON ST., MT. SUMNER, MD 20712

1ST FLOOR PLAN - RCP

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A-401

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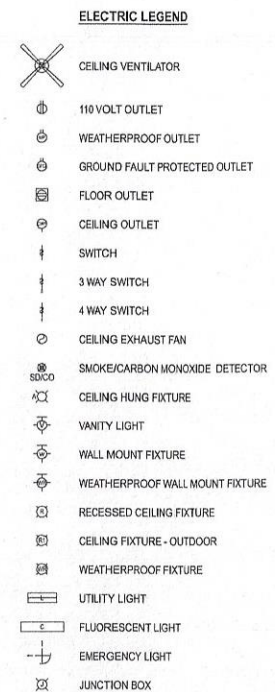
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Shawn Bounds
ADMINISTRATOR

1
A-401 1ST FLOOR PLAN - RCP
SCALE: 1/4" = 1'-0"

K

[illegible]

REVISIONS

3405 NEWTON ST - ADDITION

3405 NEWTON ST. MT. RAINIER, MD 20712

2ND FLOOR PLAN - RCP

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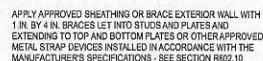
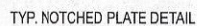
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2001

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ADMINISTRATOR

2



CORNER AND PARTITION POSTS

NOTE: A THIRD STUD AND / OR PARTITION INTERSECTION BACKING STUDS SHALL BE PERMITTED TO BE OMITTED THROUGH THE USE OF WOOD BACKUP CLEATS, METAL DRYWALL CLIPS OR OTHER APPROVED DEVICES THAT WILL SERVE AS ADEQUATE BACKING FOR THE FACING

FRAMING DETAILS



HEAD FLASHING TIE-IN INSTRUCTION

2. CUT, FOLD UP AND TEMPORARY SECURE WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR FLASHING INSTALLATION
2. INSTALL FLASHING FLUSH HEAD FLASHING UNDER THE WEATHER RESISTIVE BARRIER ALONG HEADER
3. FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH TAPE AS SHOWN ABOVE

[illegible]

3405 NEWTON ST - ADDITION

3405 NEWTON ST., MT. RAINIER, MD 20712

DETAILS

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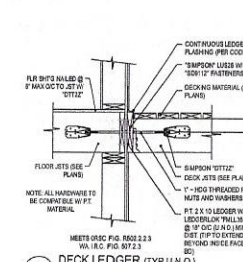
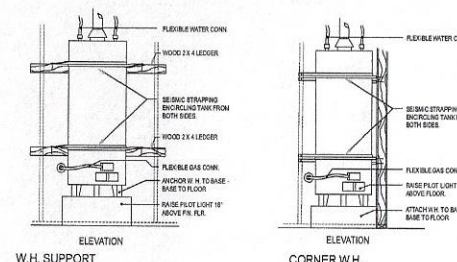
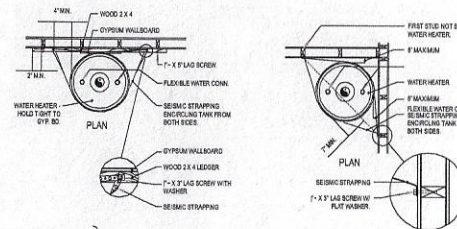
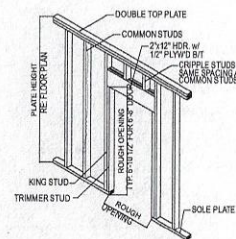
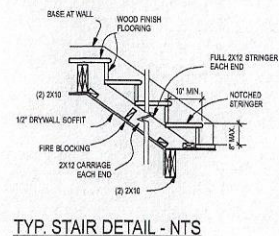
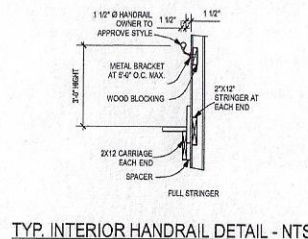
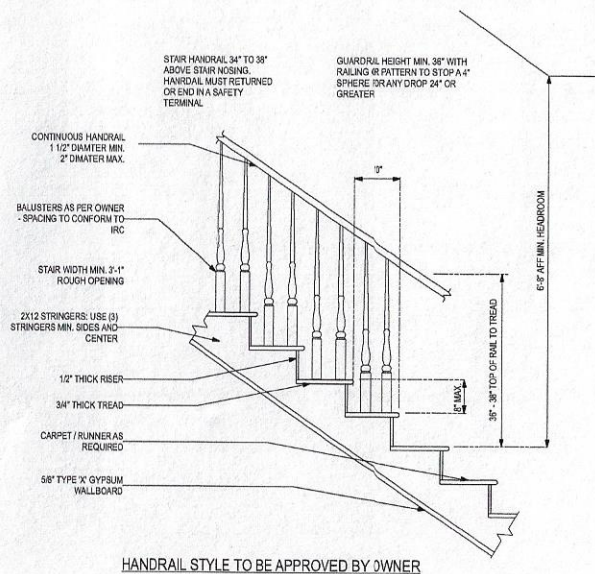
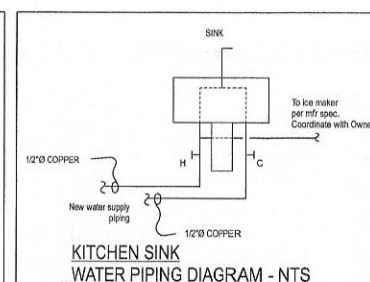
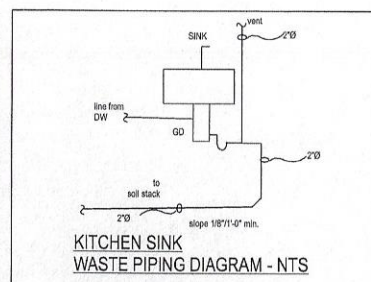
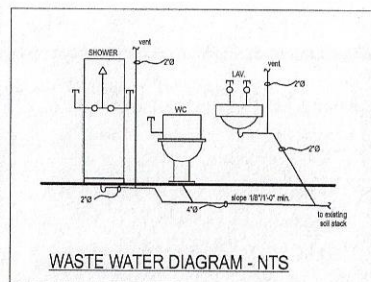
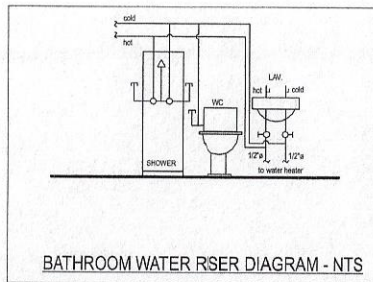
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REVISIONS

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P. Shawn Bounds, AIA, LEED AP
Shawn Bounds, AIA, LEED AP



A-501

2015